

An aerial photograph of the Truman Heights neighborhood in Mesquite, Texas. A yellow dashed line outlines the neighborhood's boundary. The map shows a grid of streets including Stevenson, Hillview, Galloway, Andrew, Rosemont, Crestridge, and Liberty. A large industrial area with two large circular tanks is visible in the center. Highway 80 runs along the top edge of the map.

The Truman Heights Neighborhood Plan

Prepared by Neighborhood Residents and Community Development Department



City of Mesquite
2006

ACKNOWLEDGEMENTS

City of Mesquite Truman Heights Neighborhood Plan

The Community Development Department would like to acknowledge the following residents of Truman Heights for their support and commitment in the creation of the Truman Heights Neighborhood Plan.

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CITY OF MESQUITE

TRUMAN HEIGHTS NEIGHBORHOOD PLAN

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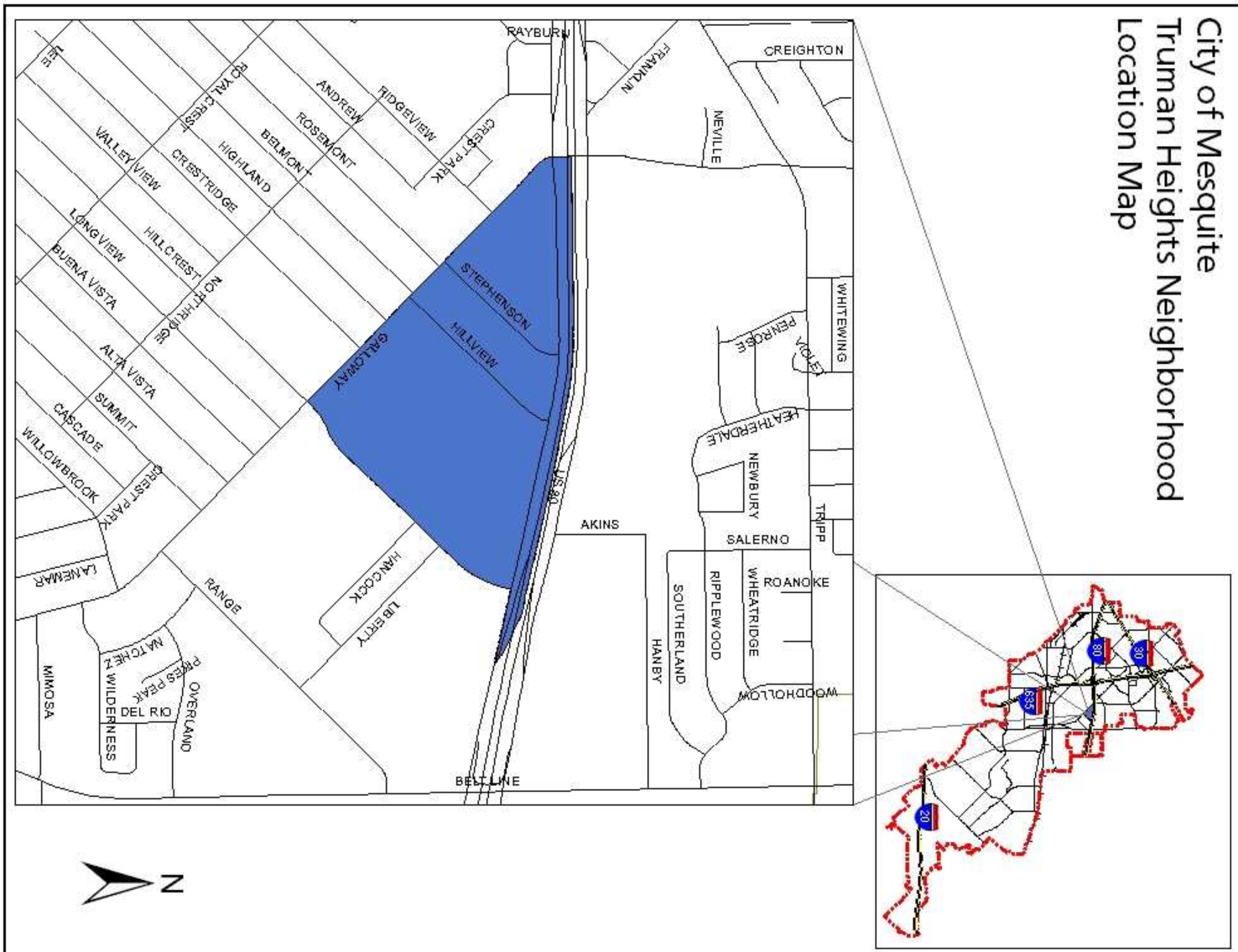
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OVERVIEW

ORIGINS OF ADDRESSING MESQUITE

The city recognizes that its older neighborhoods are aging and showing signs of deterioration. Some of these neighborhoods, built during the 1950's, provided the strong foundation for the growth that the city has enjoyed over the years. As these neighborhoods continue to age and evolve, proactive intervention will be necessary to prevent further decline.

In 2004, the City Council commissioned a Residential Building Condition Survey to analyze the state of the city's neighborhoods. The Residential Building Condition Survey included a general assessment of the conditions of every single-family home throughout the city. The Survey found, for the most part, that neighborhoods are in good shape. Eighty-four percent of all single-family homes within the city are in Grade A, or good condition. However, there were neighborhoods where nearly 40% of the structures were rated below Grade A condition.

In 2005, to address overall building conditions and other critical issues that affect the quality of life in these neighborhoods, the City Council initiated a comprehensive neighborhood revitalization program called **ADDRESSING MESQUITE**. The **ADDRESSING**

MESQUITE program involves three major initiatives: neighborhood planning, a Rental Certificate-of-Occupancy program, and enhanced code enforcement.

For now, the primary source of funding for the **ADDRESSING MESQUITE** program is the Community Development Block Grant (CDBG). As a result, the city must focus its neighborhood revitalization efforts within the Census 2000 block groups that qualify as low- to moderate-income areas. These areas must also be eligible for the use of CDBG funds. The city reviewed its 26 CDBG-eligible neighborhoods and selected four priority neighborhoods based on several different factors. Based on the analysis of the different factors, the four neighborhoods identified by the City Council as priority neighborhoods are:

- Casa View Heights
- Mesquite Park
- Sherwood Forest
- Truman Heights

Priority Neighborhood Selection Factors:

1. CDBG Eligible
2. Single-family building conditions
3. Number of environmental code violations
4. Median age of single-family structures
5. Median housing value
6. Within a problem-oriented policing district
7. Elementary school within the block group

OVERVIEW

THE ROLE OF NEIGHBORHOOD PLANNING

Neighborhood planning is a major component of the *ADDRESSING MESQUITE* program. It includes an in-depth examination of neighborhood conditions and identifies strategies that are designed to bring about change. A neighborhood plan is intended to achieve several goals leading toward overall improvement in the health and sustainability of the neighborhood:

- To provide a systematic framework for residents to identify issues and solutions
- To educate the city about the neighborhood's concerns
- To address a wide range of interrelated issues
- To initiate and coordinate neighborhood improvement projects and activities
- To propose proactive strategies for change

Anatomy of a Neighborhood Plan

A neighborhood plan has many of the same features of a community-wide comprehensive plan. But, because it is much smaller in scale, a neighborhood plan can focus on a street-level assessment of issues and opportunities that residents contend with on a daily basis. For purposes of planning in Truman Heights, the discussion, analysis,

and recommended strategies were grouped into four major planning elements:

Neighborhood Appearance:

Issues that affect the appearance and aesthetics of the neighborhood, such as code enforcement, building conditions, and property maintenance

Neighborhood Infrastructure:

Issues that are important to essential functionality, such as street and sidewalk conditions, drainage problems, and water and sewer lines

Neighborhood Safety:

Issues that impact vehicle and pedestrian safety or personal security, such as speeding, street lighting, animal control, and the design of public spaces

Neighborhood Land Use and Zoning:

Issues that arise from conflicting land uses or the city's development regulations, such as inappropriate commercial encroachment, and excessive exposure to inappropriate commercial uses

OVERVIEW

Planning in Truman Heights

The **Truman Heights Neighborhood Plan** is the result of a systematic neighborhood planning process. This Plan is a snapshot of the issues that currently impact quality of life for residents of Truman Heights. The Plan is also a call-to-action that sets the stage for implementing objectives and strategies designed to foster positive change.

The Truman Heights planning process relied heavily on public participation to identify neighborhood issues and opportunities; outline goals and a vision for the neighborhood; and develop a strategy. With guidance and assistance from a neighborhood planner in the Planning Division of the Community Development Department, the neighborhood actively worked to forge its own neighborhood plan that outlines what residents would like see accomplished.

The planning process consists of collecting data, conducting analysis, identifying the issues, developing objectives, and creating an action plan. The source of information collected during the planning process includes Census 2000 data, the building condition survey, City of Mesquite Zoning Ordinance,

neighborhood questionnaires, Dallas Central Appraisal District records, and input from neighborhood residents.

The primary source of information and support for the neighborhood planning process is public participation by the neighborhood residents. Throughout an 18-month period, the city staff met with the Truman Heights neighborhood residents to discuss the issues or concerns that were important to them. The city staff held a total of 8 neighborhood meetings with the neighborhood residents, which included two introductory meetings on the *ADDRESSING MESQUITE* program and 4 neighborhood planning sessions.

The neighborhood meetings on July 12, 2005, and September 1, 2005, gave the residents an opportunity to learn about the *ADDRESSING MESQUITE* program. The staff briefed the neighborhood residents on the state of the building conditions within the neighborhood and the benefits of neighborhood planning. In addition, the residents had the opportunity to meet with city staff from various departments to discuss generally their concerns or ask questions. The residents that attended the first introductory meeting were able to complete a questionnaire. The results from the questionnaire and the comments from the first two meetings directed the

OVERVIEW

topics of discussion at the neighborhood planning

The Planning Sessions

Neighborhood planning sessions were held with the neighborhood residents on two separate occasions, December 8, 2005 and February 9, 2006. Session participants discussed in detail specific issues related to their neighborhood. Each planning session dealt with a range of issues that fell under the four major planning elements: appearance, infrastructure, safety, and land use & zoning. Staff facilitated the discussion by organizing each session around only one planning element at a time.

On June 13, 2006, the city staff presented a draft set of implementation strategies to the neighborhood residents. The participants clarified the issues, added their comments, voted and prioritized the implementation strategies that would comprise the substance of the neighborhood plan. A draft of the Truman Heights Neighborhood Plan was confirmed during a final meeting held on March 1, 2007.

The residents of Truman Heights Neighborhood presented the Truman Heights Neighborhood Plan to the Planning and Zoning Commission on March 12, 2007. After the presentation and affording all parties an

sessions that followed.

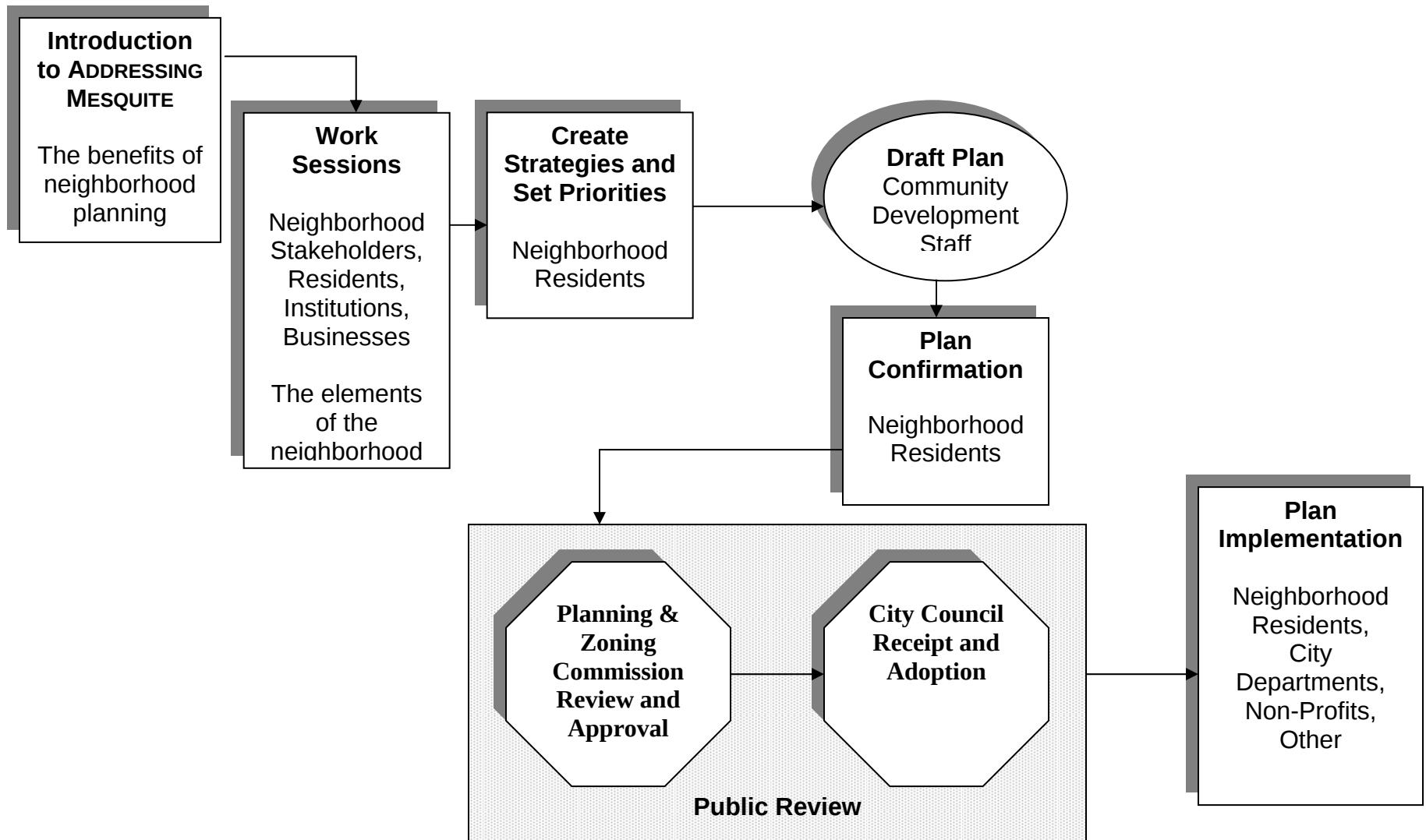
opportunity to be heard, the Commission voted to recommend adoption of the plan. The Truman Heights Neighborhood Plan was officially received and adopted by the Mesquite City Council on March 19, 2007.

Table 1: Meeting Subject & Attendances

Meeting Date	Subject	Attendances
July 12, 2005	Introduction	12
September 1, 2005	Introduction	4
December 8, 2005	Neighborhood Infrastructure & Safety	9
February 9, 2006	Neighborhood Appearance and Land Use & Zoning	13
June 13, 2006	Strategy Prioritization	15
March 1, 2007	Draft Plan Presentation	11

OVERVIEW

Figure 1: Addressing Mesquite Neighborhood Planning Model



NEIGHBORHOOD PROFILE

Truman Heights Neighborhood Profile

The Truman Heights neighborhood is located in the north central part of the city, just south of U.S. Highway 80. The neighborhood boundaries are U.S. Highway 80 to the north, North Galloway Avenue to the southwest and Hillcrest Street to the southeast. The neighborhood is located in the City Council District 1 and Census Tract 177.02 Block Group 3. Map 2 depicts the neighborhood.

Neighborhood Boundaries

North – U.S. Highway 80

Southwest - N. Galloway Avenue

Southeast - Hillcrest Street

The development of a middle-class neighborhood occurred with most of the homes built during the 1950's and early 1960's. The majority of the homes are traditional in style with common features such as gable roofs, and siding. Today, the neighborhood is a close-knit neighborhood. The neighborhood amenities include the close proximity to local schools and easy access to commercial and retail activity. Additionally, the neighborhood offers immediate access to major arterial routes and U.S. Highway 80.

Housing

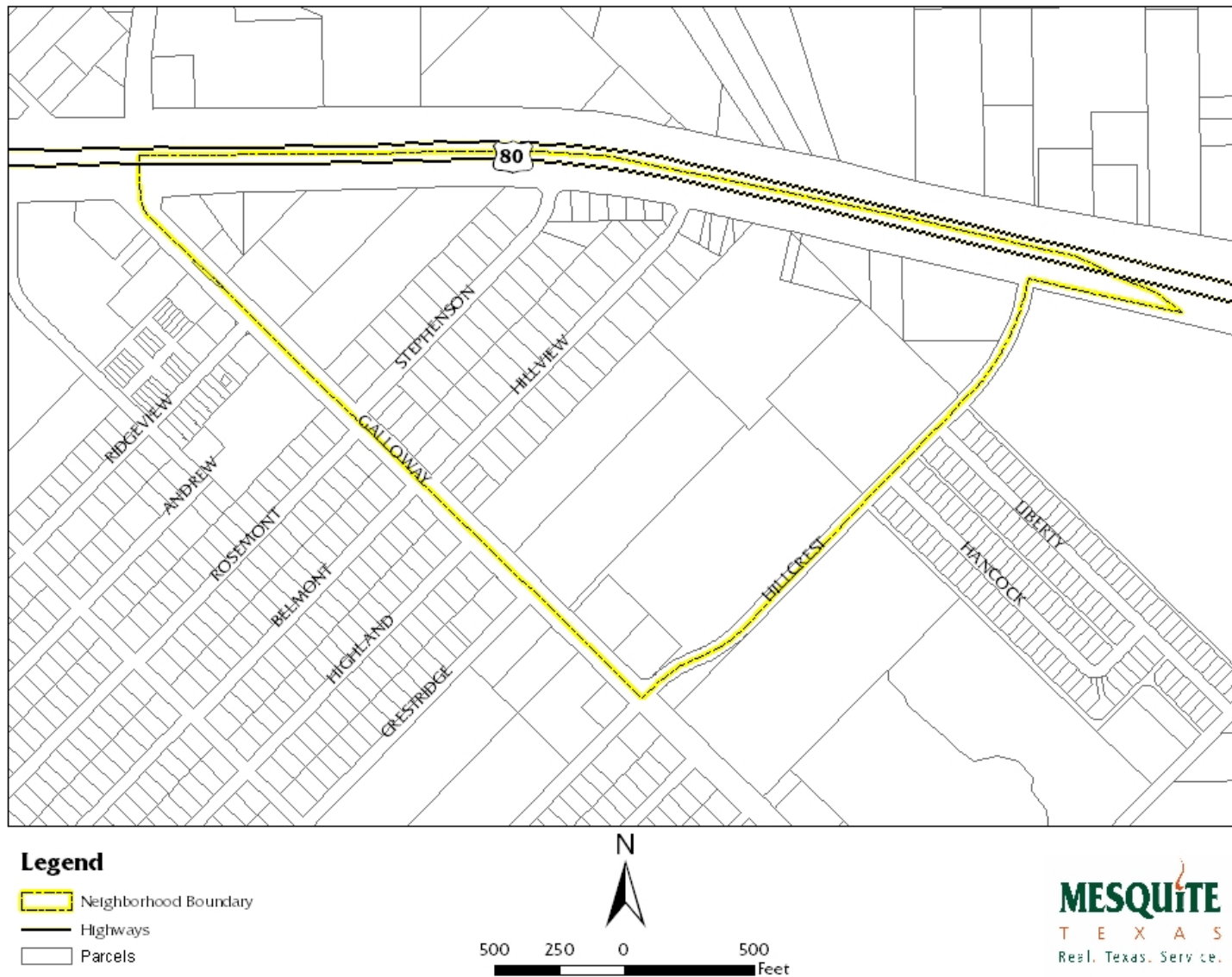
There are 333 housing units within the Truman Heights neighborhood. According to the 2000 Census data, 50 of the 333 housing units are detached single-family while 283 units are in multiunit structures, such as apartment buildings. Of the 50 detached single-family units, 28 or 56% are owner occupied and 22 or 44% are renter occupied. The 283 units located in the multiunit structures are 100% renter occupied.

The single-family homes in the neighborhood are located primarily on Stephens Drive and Hillview Drive. The multiunit structures, located on Hillcrest Street, consist of two apartment complexes built during the early 1970's.

According to the Dallas Central Appraisal District records, the average appraised market value in 2006 for single-family homes in Truman Heights was approximately \$70,128.

NEIGHBORHOOD PROFILE

Map #2: Truman Heights Boundary Map



NEIGHBORHOOD PROFILE

Demographics

A review of the 1990 and 2000 Census shows not only an increase in the population, but also changes in the makeup of the neighborhood residents. The population for the neighborhood in 2000 was 1,108, which is up 23% from 901 in 1990. There was also an increase in the number of families from 233 families in 1990 to 282 families in 2000.

The 2000 Census data shows that the neighborhood has grown more diverse since 1990. In the 2000 Census, African-Americans comprised 17% of the neighborhood population while Asians and other races made up 29% of the neighborhood population, both of which are a significant increase from 1990. See Figure 2. Ethnically, the Hispanic population has also grown from 98, or 10.9% of the total population in 1990, to 153, or 13.8% of the total population in 2000, as shown in Figure 3.

Figure 2: Population by Race

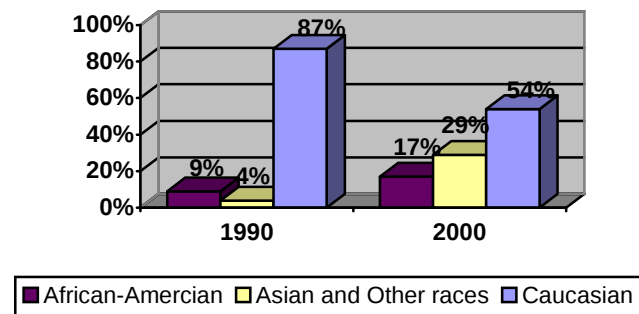
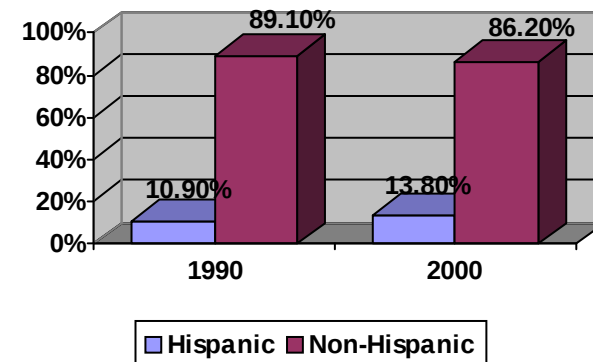


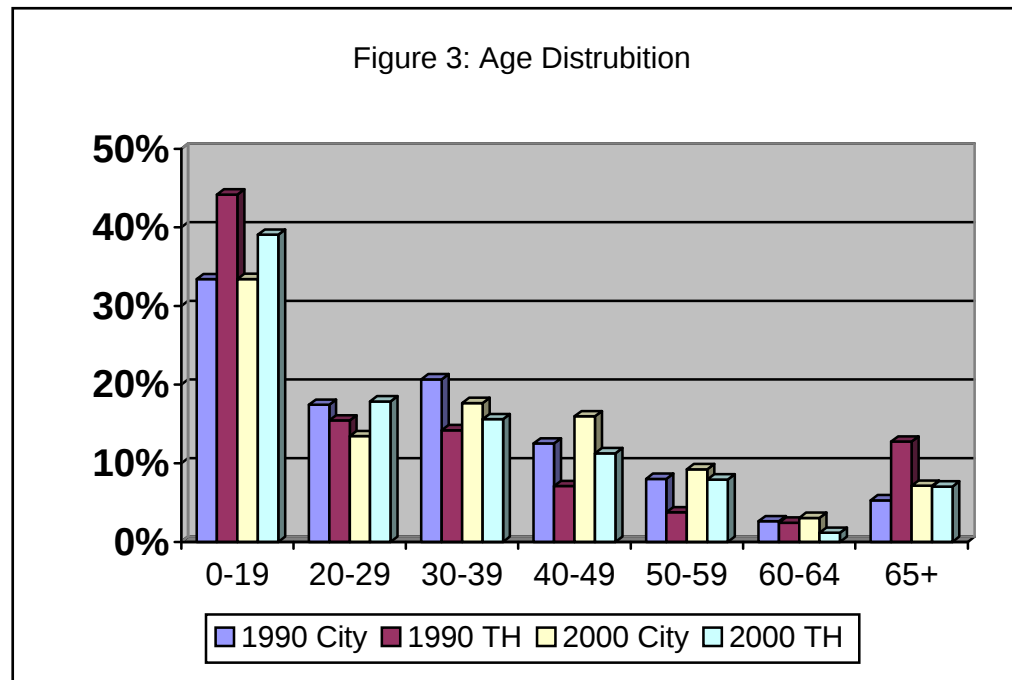
Figure 3: Hispanic Population



NEIGHBORHOOD PROFILE

Census data shows that age distribution within the neighborhood is consistent with citywide data. Between 1990 and 2000, the age group 19 and under still represents more than a third of the neighborhood population. However, age groups 20-29, 30-39, 40-49, and 50-59, have increased in percentage of the total neighborhood population while the 19 and under and 65

and older age groups have shown a decrease. The neighborhood population has aged between 1990 and 2000. However, this is consistent with changes in the citywide census data between 1990 and 2000. Figure 3 shows the percentages of the different age groups in 1990 and 2000.



NEIGHBORHOOD INVENTORY & ANALYSIS

INVENTORY AND ANALYSIS

This section provides an inventory and analysis of the Truman Heights neighborhood. The neighborhood stakeholders, with the assistance of the city staff familiar with the area, took an inventory of the issues affecting the neighborhood under four traditional neighborhood planning elements: neighborhood appearance, neighborhood land use and zoning, neighborhood infrastructure, and neighborhood safety. Using that information, the Planning staff prepared the following analysis that led to the development of the neighborhood objectives. Findings are presented in greater detail following the Summary below.

SUMMARY

The Truman Heights neighborhood is a quality neighborhood described by its residents as quiet, with caring neighbors, and close access to nearby commercial activity. The goal of the Truman Heights Neighborhood Plan is to sustain these qualities of the neighborhood, while addressing the issues that the neighborhood faces.

Neighborhood reinvestment activity increased in 2005. The building permit activity for home improvements, home additions, foundation repairs, and garage conversions have all shown an increase in number and value compared to the last five years (Appendix A). Continued growth in property owner reinvestment, combined with increased investments from the city, will greatly assist in revitalizing and ensuring a strong, sustainable neighborhood.

Through the neighborhood planning process, the information provided by the neighborhood stakeholders, combined with the following staff assessment for each of the four planning elements, identified the issues and concerns that need to be addressed.

Neighborhood Appearance

The neighborhood residents expressed concerns not only with specific homes that are in need of improvements, but also the commercial buildings within the neighborhood boundary. Residents are concerned that nearby businesses with appearance issues negatively affect the neighborhood. The neighborhood building conditions data shows that housing conditions have improved between 2004 and 2005. However, the neighborhood still faces challenges in: maintaining the improved residential building conditions and improving

NEIGHBORHOOD INVENTORY & ANALYSIS

the appearance of nearby businesses within the neighborhood.

Neighborhood Land Use & Zoning:

The Truman Heights neighborhood has a variety of different uses. The neighborhood is mainly residential; however, there are a significant number of commercial uses that serve both the immediate neighborhood and the region. A significant issue for the neighborhood as identified by staff and residents is the incursion of commercial uses within the residential area. This is evident on Hillview Drive and Stephenson Drive where nonresidential uses have street frontage access on the residential streets.

The Truman Heights neighborhood is bordered by a major business corridor and a limited-access frontage road that invite non-residential development into the area. The challenge, which has been identified in the *Mesquite 2003 Development Guide*, will be to allow commercial development without adversely affecting the residential character of the neighborhood.

The *Mesquite 2003 Development Guide* has designated the area in the neighborhood along U.S. Highway 80 as Corridor Business. The *2003 Development Guide*

outlines the Corridor Business designation as one that incorporates the frontages along freeways and highway corridors, which provide the highest levels of regional accessibility. This provides appropriate locations for a variety of business and commercial uses serving regional and community customers, as well as highway related uses serving travelers through the area. Additionally, the *Development Guide* states that in order to protect adjoining neighborhoods that are within the Corridor Business designation, there should be a limit to outdoor storage or display.

While the *2003 Development Guide* calls for restrictions on outdoor storage and limiting outdoor display lots, the neighborhood residents indicate more could be done to protect the residential character of the neighborhood. Planning tools such as a neighborhood overlay district could be used to outline complementary uses and/or design standards. Design standards are regulations that that could be used to identify acceptable building design and site layout that are more aesthetically pleasing and provide more protection to adjoining residential uses. Neighborhood residents have given high priority to utilizing planning tools such as overlay districts and/or design standards.

NEIGHBORHOOD INVENTORY & ANALYSIS

Neighborhood Safety

The main safety concerns expressed by the neighborhood residents during the neighborhood planning meetings were speeding and protection for pedestrians. The residents identified concerns regarding speeding and cut through traffic along Stephenson Drive and Hillview Drive. Additionally, residents cited a large amount of foot traffic throughout the neighborhood and had concerns regarding school kids walking along Galloway Avenue without a school speed zone or sidewalks.

While there are a number of crimes reported every year, the meeting attendees did not identify crime as a key issue. The neighborhood residents have a strong network of communicating and working together to resolve any potential criminal issues within the neighborhood.

Neighborhood Infrastructure

The main concerns expressed by the neighborhood residents regarding infrastructure were the street condition of Hillview Drive and the lack of sidewalks on N. Galloway Avenue. There are plans to replace or rehabilitate the sewer mains throughout the neighborhood as part of a larger project that would take

place over a five-year period. However, there are no existing plans to address the old water main along Hillview or the drainage issues at the southeast end of Hillview.

The work of the water and sewer lines will have to proceed before working on the street conditions of Hillview or Stephenson. The lack of sidewalks along Galloway can be addressed as new development or redevelopment arises. For non-residential development, the regulations require the developer to install sidewalks along the right of way. A large strip of land owned by the City of Mesquite and NTMWD, which runs along Galloway Avenue, has no sidewalks. Installing sidewalks along this stretch would connect existing sidewalks that have been installed as previous development. In review, the neighborhood residents' infrastructure concerns focused on street conditions, sidewalk conditions, and drainage.

NEIGHBORHOOD INVENTORY & ANALYSIS

Neighborhood Appearance

Neighborhood appearance is primarily concerned with how the neighborhood looks, how the properties are maintained, and the condition of the housing stock. The following assessments of housing conditions and property upkeep provide the current status of the appearance of the neighborhood. The neighborhood stakeholders designated that neighborhood appearance, particularly property upkeep, is a major issue for the neighborhood.

Housing Conditions:

Reviewing the information collected through the 2004 Residential Building Condition Survey, shows a 64% rate of Grade A single-family homes within the neighborhood compared to a 84% rate of Grade A single-family homes citywide. The 2004 Residential Building Condition Survey evaluated the exterior condition of every single-family home throughout the city including Truman Heights. The evaluations took place from the public right of way to review the condition of the structure, sidewalk, and driveway of each single-family and duplex property. The structure, driveway, and sidewalk were each given one of four grades based on the conditions, Grade A, Grade B, Grade C, or Grade D. As part of the *ADDRESSING MESQUITE* program, the Rental

Inspection program and enhanced code enforcement implemented in 2005 have shown improvements in the building conditions within Truman Heights.

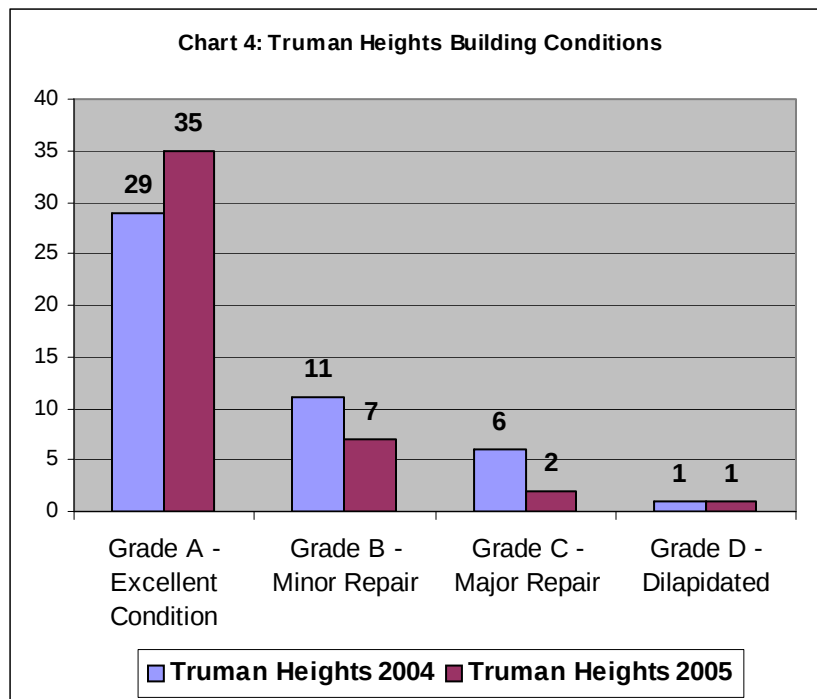
As trained observers, the Community Development Department inspectors constantly update the building condition grades. At the end 2005, the survey of building conditions shows an increase in the number of Grade A properties. See Figure 4 for a breakdown on the building conditions. Map 2 & 3 show the building conditions in 2004 and 2005 respectively.

The neighborhood residents have shown, in 2005, an increase in reinvestments within the neighborhoods. The building permit activities for home improvements, home additions, foundation repairs, and garage conversions have all shown an increase in number and value compared to the last five years (Appendix A). As a result, the 2005 building survey shows an increase in the percentage of Grade A homes from 61% in 2004 to 78% in 2005, an increase of 17%. The neighborhood residents and property owners have made significant improvements in the building conditions between 2004 and 2005. However, the neighborhood still faces

NEIGHBORHOOD INVENTORY & ANALYSIS

challenges in improving the building conditions levels comparable to the citywide average of 84% Grade A.

Figure #4: Building Conditions Chart



Grade A – Excellent Condition:

Adequate weather protection; no deterioration to roof; exterior surfaces, cornice, siding, windows, driveways, or sidewalks

Grade B – Minor Repair:

Slight deterioration of weather protection found to the roof, exterior surfaces, cornice, or siding; minor widow damage due to cracks or breaks; driveways and sidewalk with minor cracks presenting safety or trip hazards

Grade C – Major Repair:

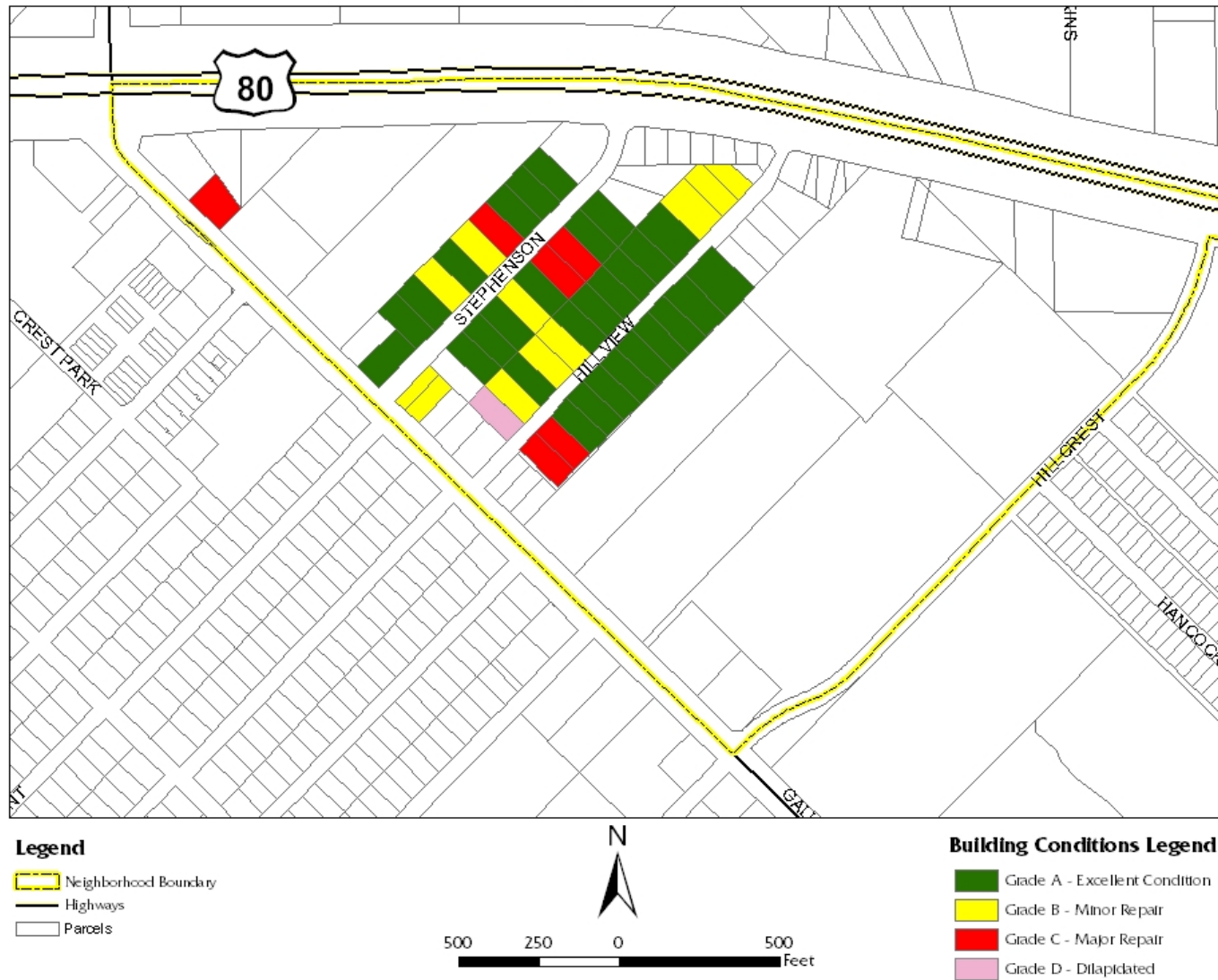
Found inadequate exterior paint with less than 50% of all having exposed wood; some roofing materials missing or loose, waves in roof and missing grit; two or more windows broken; driveway and sidewalk in need of repair due to safety and trip hazards

Grade D – Dilapidated:

Eaves and cornice need replacing; large amount of roofing is missing; greater than 50% of wall area with exposed, bare, or decayed wood; numerous windows are broken or missing

NEIGHBORHOOD INVENTORY & ANALYSIS

Map #3: Truman Heights Building Conditions 2004



NEIGHBORHOOD INVENTORY & ANALYSIS

Map #4: Truman Heights Building Conditions 2005



NEIGHBORHOOD INVENTORY & ANALYSIS

Property Upkeep:

In recent years, the numbers of environmental code violations have risen within the neighborhood. Environmental code violations include high grass and weeds, trash and junk, parking on the grass, inoperable vehicles, overhanging limbs, etc. In reviewing the number and type of violations, staff focused on the more severe violations that have the greatest impact on neighborhood appearance; such as, inoperable vehicles, unsafe structures, high grass and weeds, and fencing. To ascertain a measure of how the appearance of the neighborhood is being affected by these code violations, the staff took the number of severe violations and divided by the number of total violations for the neighborhood to obtain a severe violation index. A higher index indicates that the neighborhood is experiencing a decline in overall appearance. For 2005, the citywide severe violation index was 0.31 while the Truman Heights neighborhood was 0.36. Table 2 provides a three-year history of the severe violation index.

Table #2: Severe Violation Index

	2004	2005	2006
Citywide	0.24	0.31	0.38
Truman Heights	0.57	0.48	0.46

NEIGHBORHOOD INVENTORY & ANALYSIS

Neighborhood Infrastructure

Neighborhood Infrastructure covers issues that deal with drainage, sidewalk conditions, streets, and alleys. In the following section, the staff presents the current assessment of each infrastructure item. During the course of the neighborhood planning meetings, the residents were primarily concerned with street conditions.

Drainage

The Truman Heights Neighborhood currently has drainage improvements, which include a channel that runs southeast to the northwest, between Hillview Drive and Stephenson Drive, on the eastern end of the neighborhood. The drainage improvements made in 1999 have remedied drainage issues on the northern end of Hillview Drive and Stephenson Drive. However, there is a lack of drainage near the southern end of Hillview Drive located near the *Sonic Drive In*, which has resulted in some yard flooding.



Sidewalks

Sidewalks are not present throughout the neighborhood. While there are some sidewalks located on Hillcrest Street and a portion of N. Galloway Avenue, there are no sidewalks for most of the eastern side of Galloway Avenue, from Hillcrest Street up to the intersection with U.S. Highway 80. Additionally, there are no sidewalks for Hillview Drive, or for Stephenson Drive.

The existing sidewalks are in good condition. The main issue is the lack of sidewalks, particularly along Galloway Avenue. Staff has found evidence of a trail established by foot traffic that crosses a vacant field from the

NEIGHBORHOOD INVENTORY & ANALYSIS

apartment complex located on Hillcrest Street towards the intersection of Hillview and Galloway.

NEIGHBORHOOD INVENTORY & ANALYSIS

Streets & Alleys

The City of Mesquite's 2005 *Thoroughfare Plan* categorizes the streets within the Truman Heights neighborhood with the following classifications.

Truman Heights Neighborhood Street Classification

See Map 5: Street Classification

Arterial Streets: North Galloway Avenue

Collector Streets: Hillcrest Street

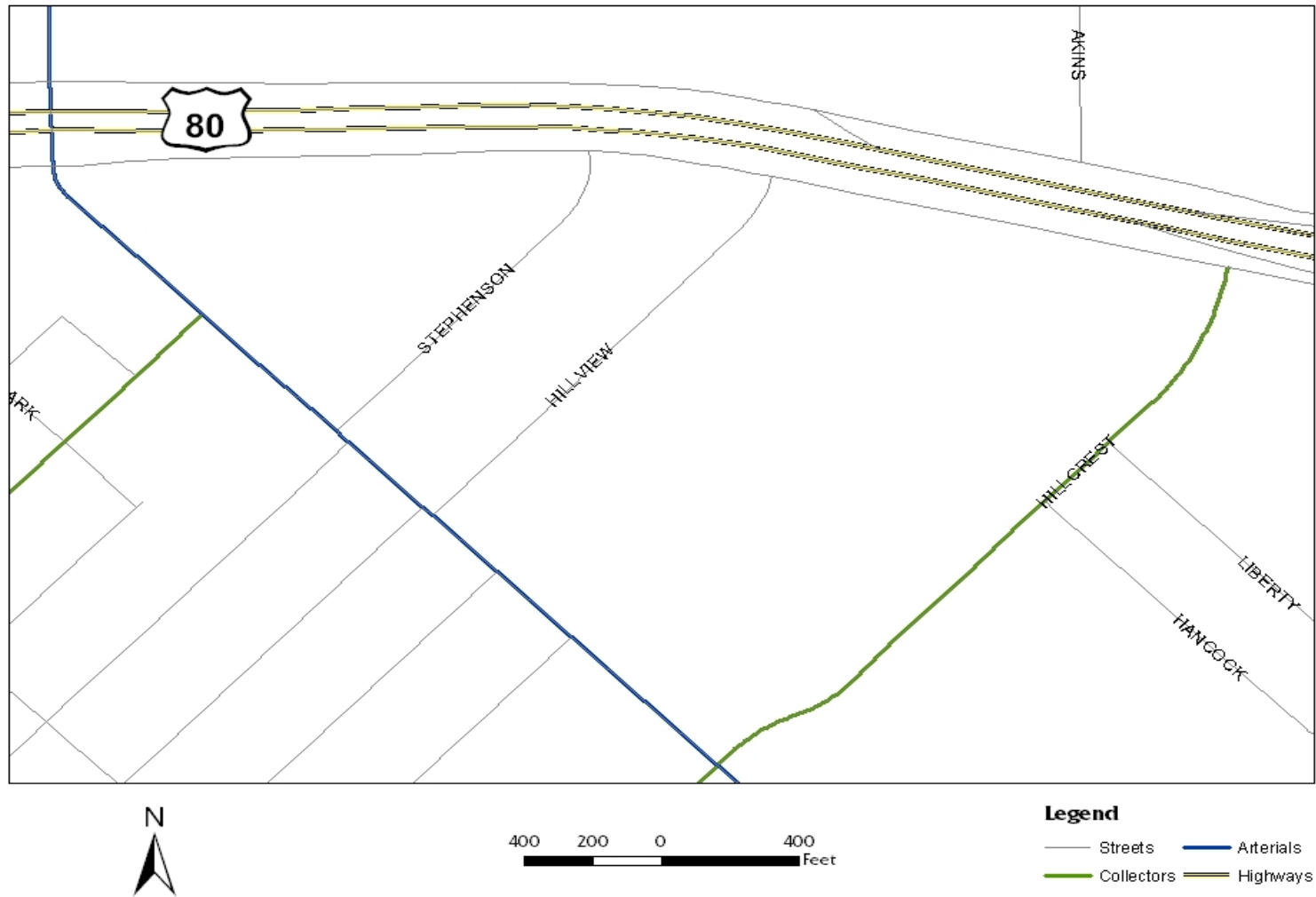
Residential Streets: Stephenson Drive
Hillview Drive

The residential streets listed above that provide circulation through the neighborhood are all paved. However, Hillview Drive does not have curbs or gutters. Additionally, staff has found that Hillview Drive's current condition will require future street improvements. There are no alleys throughout the neighborhood.



NEIGHBORHOOD INVENTORY & ANALYSIS

Map #5: Truman Heights Street Classification



NEIGHBORHOOD INVENTORY & ANALYSIS

Neighborhood Land Use & Zoning

Neighborhood Land Use and Zoning deals with issues related to the use of land and zoning destinations within the neighborhood. The following staff assessments of the neighborhood land use and zoning will identify the current land uses and zoning within the neighborhood. Initial review found potential conflicts or issues related to the use of land or zoning. In addition, the neighborhood residents expressed some concerns about the land uses or zoning in and around the neighborhood.

Land Use

The Truman Heights neighborhood has a wide variety of land uses within its border with residential and commercial uses. Residential uses include single-family homes and apartment complexes, accounting for 44.9% of all land uses within the neighborhood. The single-family homes are located along two parallel streets in Stephenson Drive and Hillview Drive, while two apartment complexes are located along Hillcrest Street.

The commercial component of the Truman Heights neighborhood includes such uses as a retail strip center, a fast food restaurant, a carwash, a gasoline service station, an auto repair shop, and a mini-warehouse. The commercial use accounts for 34.7% of the land uses

within the neighborhood. The commercial uses are primarily located along the neighborhood boundaries, Galloway Avenue and the service road of U.S. Highway 80.

While the neighborhood is mostly developed, there are still some vacant parcels that account for 14.3%. Institutional uses such as churches make up 4.1% of the land uses. The neighborhood has two churches within its boundaries with one currently under construction. Lastly, near the center of the neighborhood there is a utility use with two water storage facilities that are owned by the North Texas Municipal Water District. See Map 6: Land Use and Map 7: Zoning.

Land Use Category	Parcels	Percent
Commercial	34	34.7%
Utility	2	2.0%
Institution	4	4.1%
Residential	44	44.9%
Vacant	14	14.3%

NEIGHBORHOOD INVENTORY & ANALYSIS

Zoning

The Truman Heights neighborhood includes multiple zoning designations (See Map 7: Zoning). Zoning governs how the land is used and how it is developed. The zoning districts included in the neighborhood are: R-3 Single-Family Residential, A-1 Multi-Family, GR-General Retail, and C-Commercial. The current zoning matches fairly well with the existing land uses, except for a few cases where there are legal non-conforming uses.

A non-conforming use is a use that is not permitted in the district that it is located in. There are three cases where there is a single-family home within a commercial zoning. Two are single-family homes on Galloway and the third is on the northeast end of Hillview Drive.

There are forty-six parcels zoned R-3 which are located in the center of the neighborhood along Stephenson and Hillview Drive. Two parcels zoned A-1 are located along Hillcrest Street.

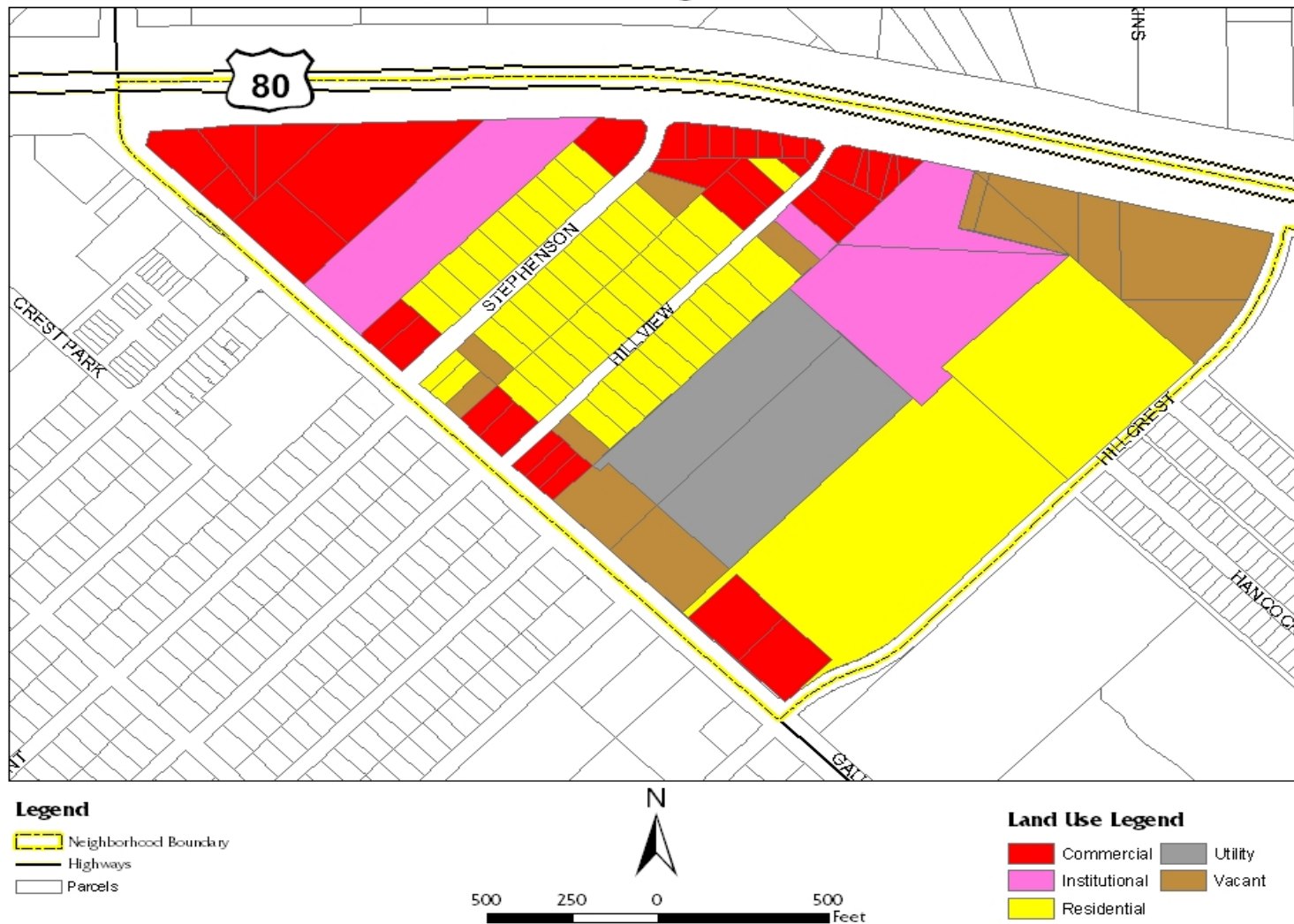
Seventeen parcels, zoned General Retail, are located along Galloway Avenue while the thirty-two parcels

zoned Commercial are located primarily along the service to US Highway 80.

In addition to the standard zoning district, there are two situations where additional zoning was required to accommodate a use on the lot. There is a conditional use permit #1951 to allow a carwash within a General Retail zoning district on a lot located on Galloway. Along Hillcrest Street, within one of the parcels zoned A-1 for multi-family, there is special permit #893, which allows a day nursery to be located within the apartment complex. A list of permitted and conditional uses for each zoning district is presented in the Appendix B.

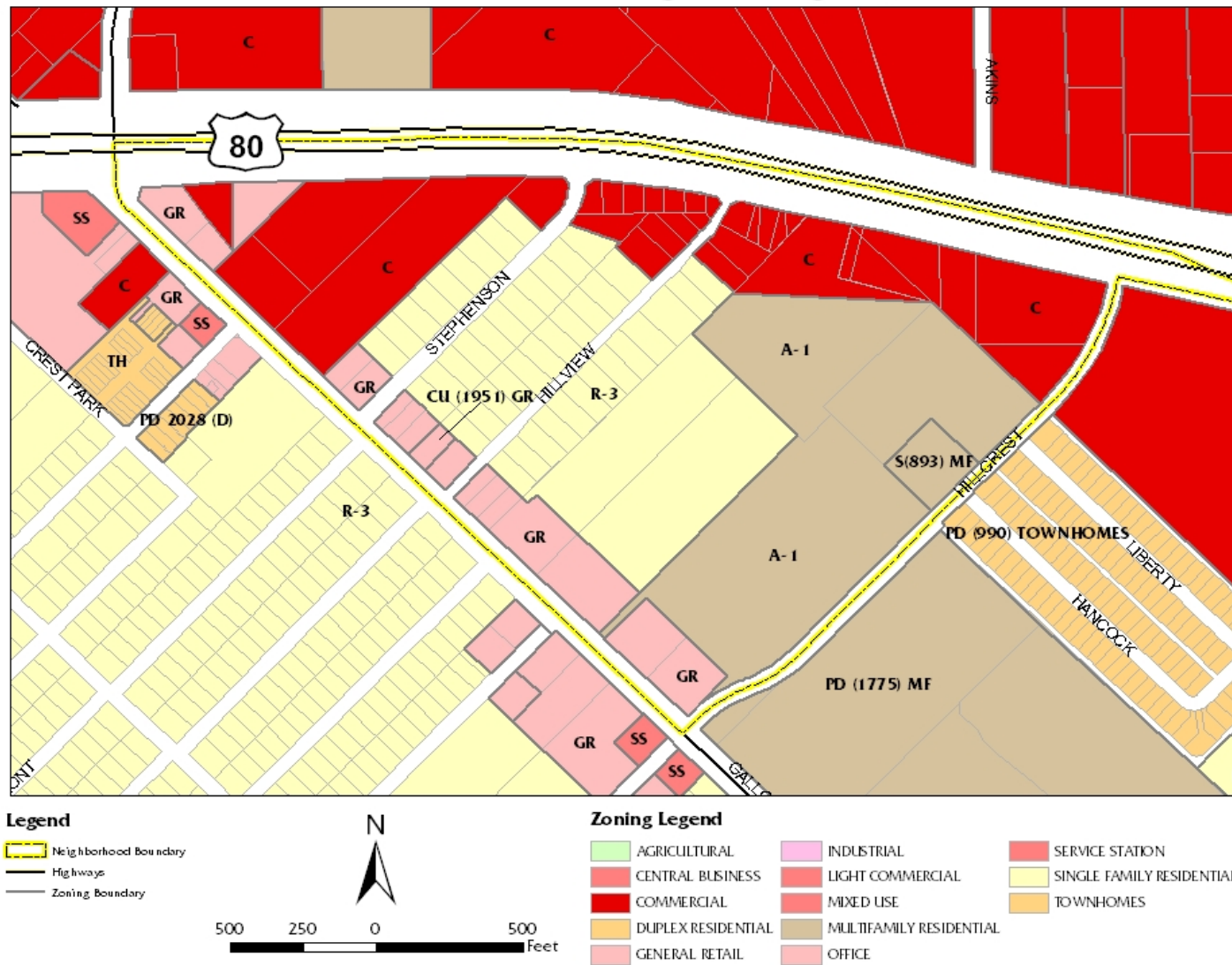
NEIGHBORHOOD INVENTORY & ANALYSIS

Map #6: Truman Heights Land Use Map



NEIGHBORHOOD INVENTORY & ANALYSIS

Map #7: Truman Heights Zoning Map



NEIGHBORHOOD INVENTORY & ANALYSIS

Neighborhood Safety

Neighborhood Safety includes issues related to crime, streetlighting, and traffic. In the following section, the staff presents the current assessment of each of the safety items. The neighborhood residents mainly expressed concerns related to speeding and traffic.

Crime

The neighborhood stakeholders that attended the neighborhood meetings did not indicate any crime issues within the neighborhood. The neighborhood residents cited a strong effort by neighbors to keep in contact and work together in maintaining a safe neighborhood.

A review by city staff of the Crime-Reporting District 741, which includes the Truman Heights neighborhood, found only slight variations in the number of reported criminal incidences from 2001 to 2005. As shown in Table 4: Crime Reporting District 741, larceny is the most common crime reported. Larceny is followed by auto theft, burglary, and robbery. Year to year there are several incidences of assault. However, it is important to note that Crime Reporting District 741 covers an area larger than the Truman Heights neighborhood. As a result, while the criminal activity numbers may be inflated

they still provide information on any trends on criminal activity in the area.

Crime	2000	2001	2002	2003	2004	2005
Rape	0	0	0	1	0	0
Robbery	1	6	4	8	3	7
Assault	9	7	9	7	9	16
Burglary	4	16	11	27	30	28
Larceny	64	155	160	160	165	152
Auto Thief	9	27	23	28	19	27
Homicide	0	0	0	0	0	0
Total	87	211	207	231	226	230

Street Lighting

During the planning session on neighborhood safety, the attendees said they have no issues regarding the lack of street lighting. The residents stated that there is ample lighting provided by their own or their neighbors' outdoor lighting.

Traffic

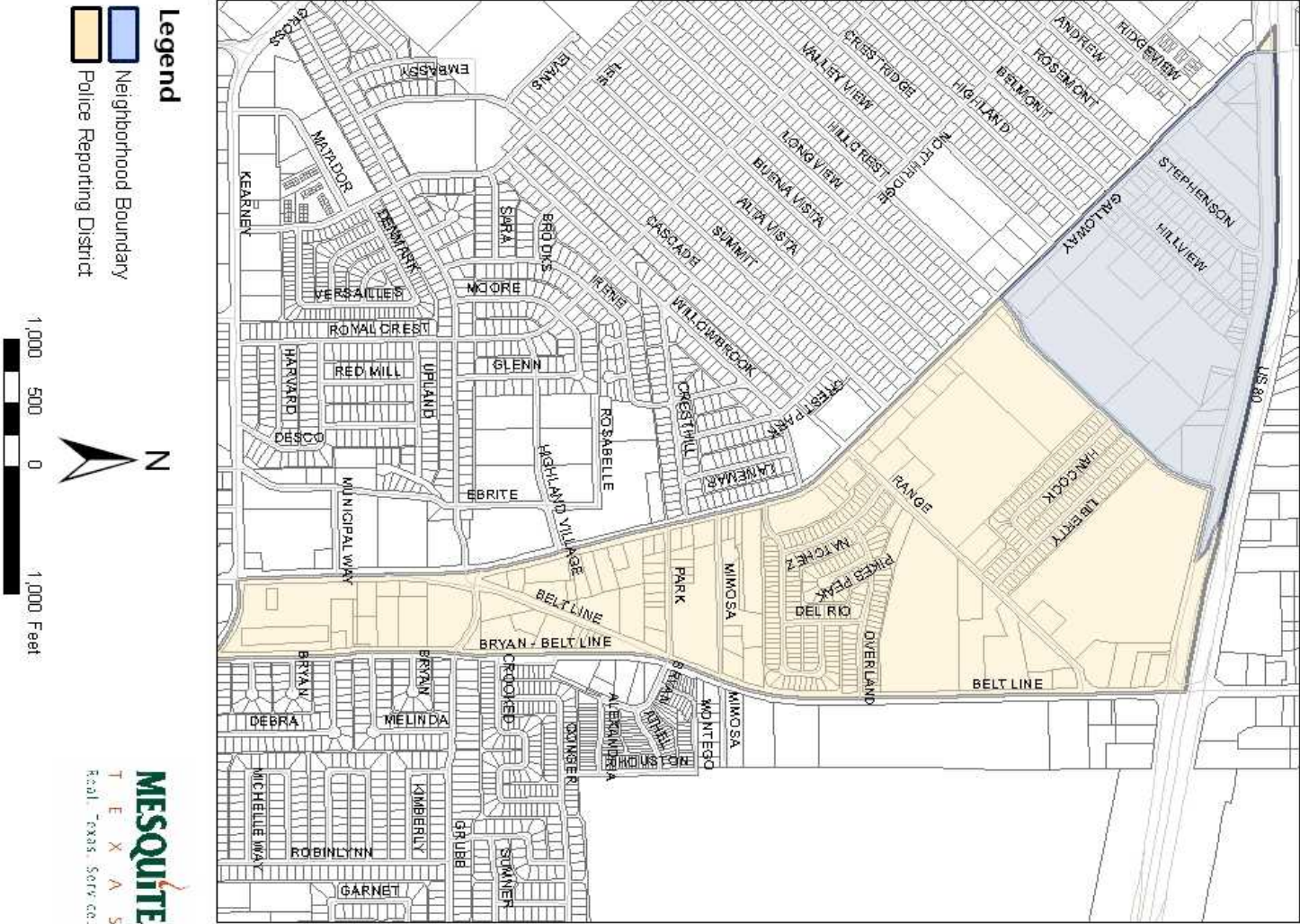
During the neighborhood planning session on January 12, 2006, the residents identified speeding as a major issue for the neighborhood. During the planning sessions, the residents indicated speeding along Hillview Drive from vehicles coming from Galloway Avenue to get

NEIGHBORHOOD INVENTORY & ANALYSIS

to the service road for U.S. Highway 80. Additionally, concerns were expressed regarding commercial vehicles from the two construction companies located on the northeast end of Hillview Drive. Residents have observed these businesses accessing their property from Galloway instead of using the U.S. Highway 80 service road. Lastly, residents are concerned with the amount traffic that the future church might bring to Hillview Drive.

NEIGHBORHOOD INVENTORY & ANALYSIS

Map #8: Police Reporting District 741

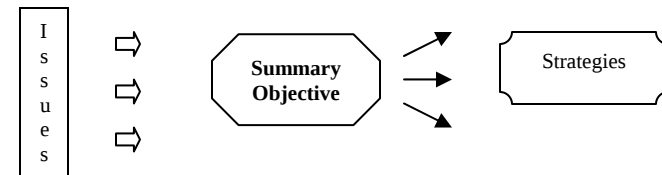


NEIGHBORHOOD INVENTORY & ANALYSIS

NEIGHBORHOOD STRATEGIES for CHANGE

The Truman Heights Neighborhood Plan is derived directly from the input of neighborhood residents and stakeholders. Most of their time, in the planning meetings, was spent discussing the impacts, causes and effects of the **Issues and Concerns** that impact the quality of life in the neighborhood. As issues were raised, the group brainstormed specific actions for dealing with the problems. At each meeting, an interdepartmental team of city staff provided practical guidance on the merits of ideas, options for implementation, and assessments of the potential for successfully grappling with the issues.

On June 13, 2006, the Community Development staff presented a set of **Summary Objectives** and **Strategies** to address the issues debated during the planning process. Twenty-four residents attended. The participants had the opportunity to question, comment, revise, and ultimately vote on which strategies should have the highest priority.



NEIGHBORHOOD STRATEGIES for CHANGE

NEIGHBORHOOD APPEARANCE

Neighborhood Appearance Issues and Concerns

- The neighborhood residents identified neighborhood appearance issues not only with specific homes but also with some of the business located within the neighborhood

Summary Objective

Customize the code enforcement methods to meet the needs of the neighborhood by concentrating enforcement on a subset of codes, providing different times for enforcement surveys, and reducing the amount of time to correct violations.

Strategies for Change

- NA1. Focus code enforcement efforts on 5 code items that have the biggest impact on neighborhood appearance

NEIGHBORHOOD STRATEGIES for CHANGE

NEIGHBORHOOD INFRASTRUCTURE

Neighborhood Infrastructure Issues and Concerns

- The neighborhood residents expressed concerns with the condition of Hillview Drive
- Poor drainage at the southeast end of Hillview Drive where there is frequent yard flooding from rain
- Concerned with the age of the water line that runs under Hillview Drive

Summary Objective

Improve or repair streets, sidewalks, alleys, and drainage system where appropriate.

Strategies for Change

NI 1. Improve Hillview Drive

NI 2. Improve the water line under Hillview Drive

NI 3. Address the drainage issue at the southwest end of Hillview Drive

NEIGHBORHOOD STRATEGIES for CHANGE

NEIGHBORHOOD SAFETY

Neighborhood Safety Issues and Concerns

- Concerns regarding speeding and cut through traffic along Stephenson Drive and Hillview Drive from Galloway Avenue to the service road along U.S. Highway 80
- Concern for pedestrian traffic along North Galloway Avenue particularly for student who attend nearby schools

Summary Objective

Improve overall safety and security of the neighborhood by working with the neighborhood residents to tailor specific actions to address their safety needs.

Strategies for Change

- NS1. Research and implement innovative methods to reduce speeding and cut through traffic throughout the neighborhood
- NS2. Research and implement innovative methods to improve pedestrian safety along North Galloway Avenue

NEIGHBORHOOD STRATEGIES for CHANGE

NEIGHBORHOOD LAND USE & ZONING

Neighborhood Land Use & Zoning Issues and Concerns

- The lack of a park space within the neighborhood
- Better direction of pedestrian traffic through the neighborhood
- Maintaining the residential character of the neighborhood
- Future land uses and developments should complement the neighborhood and not bring in negative impacts

Summary Objective

Promote accessible and complementary land uses and developments that support the neighborhood.

Strategies for Change

- NLZ 1. Identify suitable location for a neighborhood park
- NLZ 2. Research and implement methods to improve pedestrian linkage connecting the neighborhood to local services
- NLZ 3. Develop a neighborhood commercial overlay over the neighborhood specifying acceptable land uses and design standards
- NLZ 4. Develop and promote a Neighborhood Economic Development program to improve the façade of future and existing small businesses within the neighborhood

NEIGHBORHOOD STRATEGIES for CHANGE

The ultimate purpose of providing the opportunity for the neighborhood residents to vote on the strategies is to prioritize. Prioritizing the strategies gives residents a voice on the issues that require immediate attention, and the process informs decision-makers of the neighborhood's view on where the city should invest its limited resources and time. While the planning process gives the neighborhood plan its credibility, voting and prioritizing provides a structure for implementation.

VOTING RESULTS

Each neighborhood resident had the opportunity to vote for only five of the ten different strategies. The residents were given five colored stickers to represent their votes. Each vote carried a different weight for scoring the final results. The weights were assigned by color, as shown below.

Highest Priority	Red = 5 points
	Green = 4 points
	Blue = 3 points
Lowest Priority	Yellow = 1 point

Each participant was given one vote of red, green, and blue, and two votes of yellow. A voter could only vote once for a given strategy. All of the strategies were posted on the wall of the meeting room, and residents

placed their stickers next to the strategies they deemed to be most important. The city staff photo-documented the results to preserve a record of the vote. See Appendix B.

Using a weighting scheme, rather than simply counting votes, yields a more reliable indication as to which strategies are most critical to the neighborhood. The number of votes does not reveal how committed voters are to a particular strategy. However, through weighting, and forcing the voter to ration his or her votes among competing choices, the results provide a clear picture as to the direction that neighborhood residents want the city to follow during implementation. The two tables below display the results of voting by the residents who attended the meeting on June 13, 2006. Priorities are presented for the strategies grouped by planning element, and then relative to all other neighborhood strategies.

NEIGHBORHOOD STRATEGIES for CHANGE

STRATEGIES BY PLANNING ELEMENT AND RANK

Strategy		# Red Votes 5pts	# Green Votes 4pts	# Blue Votes 3pts	# Yellow Votes 1pt	Total Votes	Weighted Value
Appearance	NA 1	0	0	0	1	1	1
Infrastructure	NI 2	4	0	0	0	4	20
	NI 1	0	3	0	1	4	13
	NI 3	0	0	1	1	2	4
Safety	NS 1	0	2	0	7	9	15
	NS 2	2	1	0	0	3	14
Land Use	NLZ 3	1	0	7	0	8	26
	NLZ 4	2	1	0	2	5	16
	NLZ 2	0	1	0	1	2	5
	NLZ 1	0	0	0	3	3	3

NEIGHBORHOOD STRATEGIES for CHANGE

STRATEGIES BY OVERALL RANK

Strategy (High priority) ↓ (Low priority)		Strategy Statement
HIGH	NLZ 3	Develop a neighborhood commercial overlay over the neighborhood specifying acceptable land uses and design standards
	NI 2	Improve the water line under Hillview Drive
MODERATE	NLZ 4	Develop and promote a Neighborhood Economic Development program to improve the façade of future and existing small businesses within the neighborhood
	NS 1	Research and implement innovative methods to reduce speeding and cut through traffic throughout the neighborhood
	NS 2	Research and implement innovative methods to improve pedestrian safety along North Galloway Avenue
	NI 1	Improve Hillview Drive
LOW	NLZ 2	Research and implement methods to improve pedestrian linkage connecting the neighborhood to local services
	NI 3	Address the drainage issue at the southwest end of Hillview Drive
	NLZ 1	Identify suitable location for a neighborhood park
	NA 1	Focus code enforcement efforts on 5 code items that have the biggest impact on neighborhood appearance

NEIGHBORHOOD ACTION MATRICES

PLAN IMPLEMENTATION: An Action Matrix

Planning is a proactive process that should extend into and through the established timeline for completion. The strategies outlined in the neighborhood plan will not implement themselves. There are many variables involving different actors, schedules, and precedent events, thus taking a passive approach to implementation will doom the plan to failure. Cities that are committed to neighborhood planning devote the resources necessary to coordinate, manage, and oversee the implementation phase.

When a neighborhood plan is completed, there is a great sense of pride and a strong desire among participants to produce results. The feeling of accomplishment provides important momentum for a brief time to “keep the ball rolling.” That period provides the opportunity to secure the resources and put a mechanism in place for oversight. However, interest can wane quickly. Without a tangible and immediate organizational commitment to bring the strategies and ideas to fruition, the opportunity to ensure the success of the neighborhood planning effort may be irretrievably lost.

An Action Matrix is a plan for implementing the strategies for each of the four neighborhood planning elements. In

the following tables, each strategy is presented along with the actors, potential funding sources, and a general timeframe for achieving the strategy.

Actors	The neighborhood residents, absentee property owners, the city, and other entities all have mutual responsibility for carrying out the plan.
Funding	Truman Heights is an income-qualifying neighborhood and CDBG funds will remain a principal, though not exclusive, funding source.
Time Frame	All strategies are deemed important, but they cannot all be accomplished immediately. They vary in complexity, and some require extensive work in advance. In general, the strategies with higher priority have the shorter timeframes for implementation.

NEIGHBORHOOD ACTION MATRICES

NEIGHBORHOOD APPEARANCE					
Strategy Item	Priority	Actors	Funding Source	Timeframe	Performance Measure
NA1. Focus code enforcement efforts on 5 code items that have the biggest impact on neighborhood appearance (determined by the neighborhood residents)	L	NR City CDD	City CDBG	6-18 mos.	✓ Upgrade Grade B or C properties to Grade A ✓ Reduction in severity index
				Abbreviations:	
				NA	Neighborhood Appearance
				NI	Neighborhood Infrastructure
				NS	Neighborhood Safety
				NLUZ	Neighborhood Land Use and Zoning
				Actors and Funding Sources:	
				CDD	Community Development Department
				City	City Departments (unspecified)
				CDBG	Community Development Block Grants
				CIP	Capital Improvements Program
				NR	Neighborhood Residents
				4B MQL	4B Quality of Life Corporation

NEIGHBORHOOD ACTION MATRICES

NEIGHBORHOOD INFRASTRUCTURE					
Strategy Item	Priority	Actors	Funding Source	Timeframe	Performance Measure
NI 1. Improve Hillview Drive	M	City	CIP	24-60 mos.	✓ Project completed
NI 2. Improve the water line under Hillview Drive	H	City	CIP	12-48 mos.	✓ Project completed
NI 3. Address the drainage issue at the southwest end of Hillview Drive	L	City	CIP	12-24 mos.	✓ Conduct drainage analysis
				Abbreviations:	
				NA NI NS NLUZ	Neighborhood Appearance Neighborhood Infrastructure Neighborhood Safety Neighborhood Land Use and Zoning
				Actors and Funding Sources:	
				CDD City CDBG CIP NR 4B MQL	Community Development Department City Departments (unspecified) Community Development Block Grants Capital Improvements Program Neighborhood Residents 4B Quality of Life Corporation

NEIGHBORHOOD ACTION MATRICES

NEIGHBORHOOD SAFETY					
Strategy Item	Priority	Actors	Funding Source	Timeframe	Performance Measure
NS1. Research and implement innovative methods to reduce speeding and cut through traffic throughout the neighborhood	M	City	City	12-36 mos.	✓ Projects completed
NS2. Research and implement innovative methods to improve pedestrian safety along North Galloway Avenue	M	NR City CDD	City	12-48 mos.	✓ Projects completed
				Abbreviations:	
				NA	Neighborhood Appearance
				NI	Neighborhood Infrastructure
				NS	Neighborhood Safety
				NLUZ	Neighborhood Land Use and Zoning
				Actors and Funding Sources:	
				CDD	Community Development Department
				City	City Departments (unspecified)
				CDBG	Community Development Block Grants
				CIP	Capital Improvements Program
				NR	Neighborhood Residents
				4B MQL	4B Quality of Life Corporation

NEIGHBORHOOD ACTION MATRICES

NEIGHBORHOOD LAND USE AND ZONING					
Strategy Item	Priority	Actors	Funding Source	Timeframe	Performance Measure
NLZ 1. Identify suitable location for a neighborhood park	L	NR City CDD	City	6-12 mos.	✓ Site selected
NLZ 2. Research and implement methods to improve pedestrian linkage connecting the neighborhood to local services	L	NR CDD	City	12-36 mos.	✓ Projects completed
NLZ 3. Develop a neighborhood commercial overlay over the neighborhood specifying acceptable land uses and design standards	H	CDD	City	12 mos.	✓ District created
NLZ 4. Develop and promote a Neighborhood Economic Development program to improve the façade of future and existing small businesses within the neighborhood	M	NR CDD	City CDBG	12-60 mos.	✓ Economic development program adopted
				Abbreviations:	
				NA NI NS NLUZ	Neighborhood Appearance Neighborhood Infrastructure Neighborhood Safety Neighborhood Land Use and Zoning
				Actors and Funding Sources:	
				CDD City CDBG CIP NR 4B MQL	Community Development Department City Departments (unspecified) Community Development Block Grants Capital Improvements Program Neighborhood Residents 4B Quality of Life Corporation

NEIGHBORHOOD PLAN EVALUATION, MONITORING, AND UPDATING

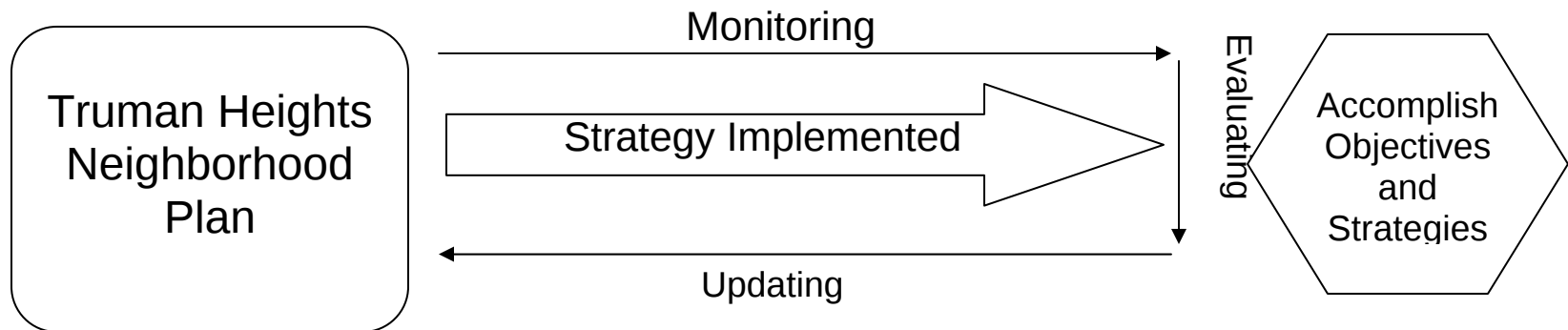
Planning adapts to changing conditions in a neighborhood. In order to ensure successful implementation of the Truman Heights Neighborhood Plan and its continuing viability, the neighborhood residents and Community Development Department must work collaboratively to monitor and evaluate the plan's effectiveness.

The action matrices suggest the use of certain performance measures that are associated with each strategy. The measures are of two types: *Output* and *Outcome*. Output measures are quantitative methods that tabulate up program results. Outcome measures are qualitative in nature, and are more indicative of whether

ultimate program goals are being reached. A mix of output and outcome measures should be used whenever possible in order to draw multiple inferences about the effectiveness of a particular strategy.

A static neighborhood plan loses its relevance and support as an instrument for bringing about positive change. In the future, city staff and residents will hold additional meetings to assess progress toward meeting the plan objectives and strategies. Amendments and updates to the Truman Heights Neighborhood Plan will be made when necessary to re-energize the initial objectives outlined in the plan, or adapt to new problems and opportunities.

Process of Monitoring, Evaluating, and Updating Truman Heights Neighborhood Plan Strategies



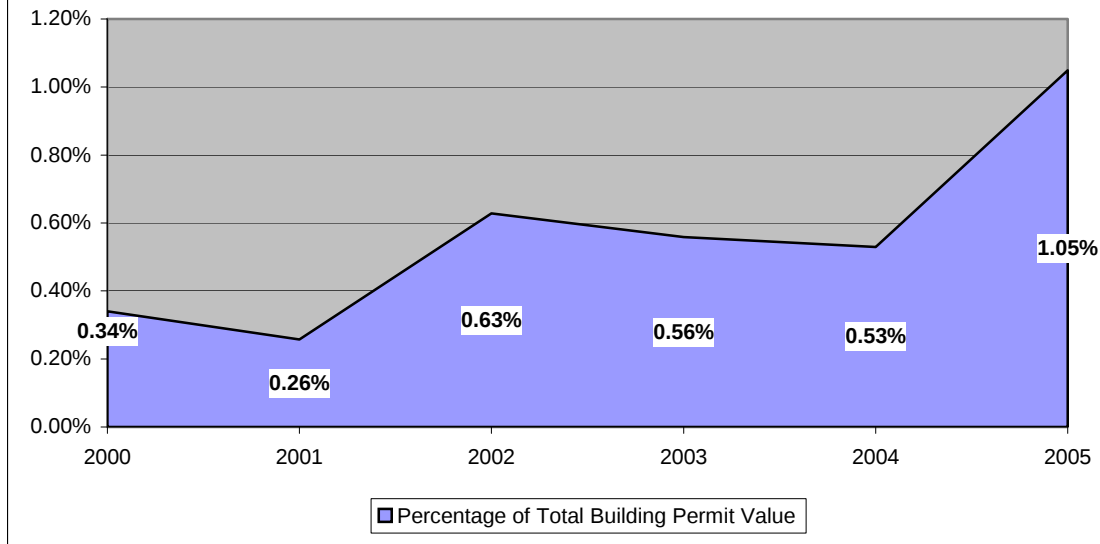
APPENDICES

Table 5: Residential Building Permit Activity

Priority Neighborhood	2000			2001			2002			2003			2004			2005		
	#	\$ Value	% of Citywide	#	\$ Value	% of Citywide	#	\$ Value	% of Citywide	#	\$ Value	% of Citywide	#	\$ Value	% of Citywide	#	\$ Value	% of Citywide
Casa View Heights	6	\$44,900	0.12%	12	\$71,400	0.13%	14	\$59,590	0.15%	7	\$48,393	0.13%	10	\$61,736	0.14%	18	\$108,775	0.26%
Mesquite Park	4	\$38,084	0.10%	9	\$30,800	0.06%	13	\$78,248	0.19%	17	\$99,845	0.26%	14	\$95,667	0.22%	17	\$146,120	0.35%
Sherwood Forest	9	\$45,573	0.12%	9	\$29,099	0.05%	15	\$93,585	0.23%	16	\$41,263	0.11%	13	\$44,695	0.10%	15	\$164,825	0.39%
Truman Heights	1	\$300	0.00%	2	\$10,800	0.02%	4	\$21,499	0.05%	3	\$22,500	0.06%	3	\$27,080	0.06%	3	\$21,700	0.05%
Total Priority Neighborhoods	20	\$128,857	0.34%	32	\$142,099	0.26%	46	\$252,922	0.63%	43	\$212,001	0.56%	40	\$229,178	0.53%	53	\$441,420	1.05%
Citywide	1,319	\$37,936,720		1,522	\$55,177,897		1,681	\$40,234,629		1,626	\$37,932,881		1,421	\$43,306,903		1,390	\$42,073,344	

**Does not include new single-family construction*

Chart 6:
Total Priority Neighborhood Building Permit Activity by Percentage of Citywide Permit Value



In 2005, when viewed as a percentage of the City's total permit activity, three of the four Addressing Mesquite neighborhoods experienced significant increases in restoration, remodeling and rehabilitation activity over historical levels

APPENDICES

Appendix B:

2-203 Mesquite Zoning Ordinance – Permitted Residential Uses

3-203 Mesquite Zoning Ordinance – Permitted Nonresidential Uses